

GRAND PRE

HERITAGE CONSERVATION DISTRICT

DESIGN GUIDELINES

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1.0 GENERAL DESIGN CRITERIA FOR NEW BUILDINGS

1.1 New buildings constructed in the Grand Pré heritage conservation district shall be compatible with nearby pre-1930 buildings in terms of the following criteria:

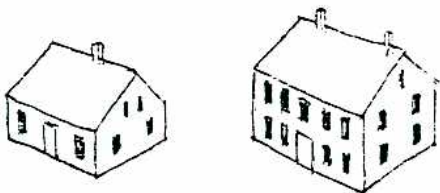
- (a) architectural form (number of storeys, roof shape & pitch, proportion, massing);
- (b) scale (size, ground floor area, height, and bulk);
- (c) location (setback, building separation, and orientation to the street);
- (d) facade design (proportion, directional emphasis, visual balance, rhythm and alignment, ratio of facade openings to wall area);
- (e) proportion, size, placement, and style of windows and doors;
- (f) style, proportion, and placement of dormers;
- (g) exterior cladding materials;
- (h) architectural trim and ornamentation;
- (i) design and placement of porches, verandas, and exterior stairs;
- (j) roofing materials;
- (k) materials and placement of chimneys.

1.2 The requirement for compatibility does not mean that new buildings must be built as replicas of historic styles, although this is permitted if desired by the applicant. Contemporary adaptations and interpretations of traditional styles are permitted provided that the new building incorporates elements of form and design that relate sympathetically to the architecture of nearby pre-1930 buildings.

2.0 DOMESTIC BUILDINGS

2.1 Form and roof shape

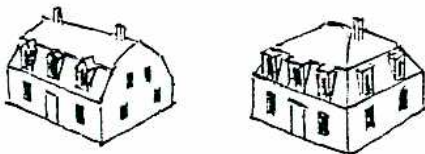
New houses shall have a form and roof shape similar to or adapted from one of the traditional house types found in Grand Pré, as summarized below and as illustrated in section 2.3 and Appendix 1 of the conservation plan.



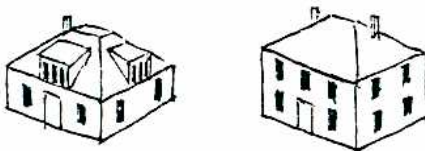
1 $\frac{1}{2}$ or 2 $\frac{1}{2}$ storey, gable roofed form with entrance in long elevation.



2 storey gable roofed form with entrance in end elevation.



1 $\frac{1}{2}$ storey gambrel or Mansard roofed form.



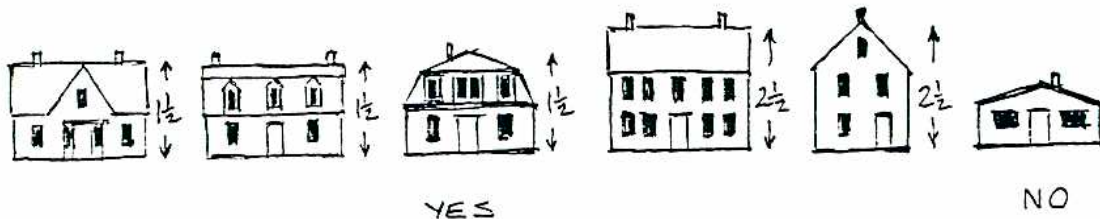
1 $\frac{1}{2}$ or 2 $\frac{1}{2}$ storey, hip roofed form.

2.2 Height

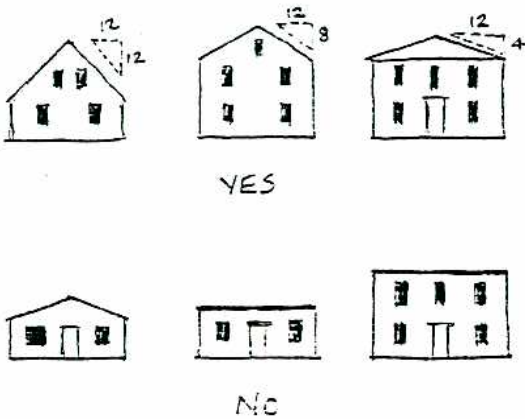
New houses shall be at least 1 $\frac{1}{2}$ storeys high and not more than 2 $\frac{1}{2}$ storeys high, so as to fit in with the prevailing pattern of heritage building heights in the village.

Single storey houses with shallow pitched roofs tend to look out of place in the heritage district and shall not be permitted.

New houses are also subject to a maximum height restriction of 35 ft. under the Land Use Bylaw.



2.3 Roof pitch

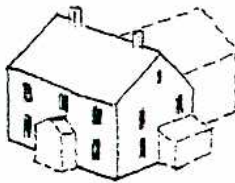


Most heritage buildings in Grand Pré have steep gable roofs pitched between about $\frac{8}{12}$ and $\frac{12}{12}$. Gambrel and mansard roofs also have steep lower sections. Some hip roofs are also steeply pitched, although one (the Borden House) has a shallower pitch of about $\frac{4}{12}$.

In order to fit with this prevailing pattern, the minimum roof pitch on any new house shall be $\frac{8}{12}$ except that shallower pitches shall be permitted on two-storey hip-roofed houses, on the upper slopes of gambrel or mansard roofs, and on the roofs of ells, porches or other extensions to the main building.

Single storey dwellings with a roof pitch less than $\frac{8}{12}$ and flat roofed dwellings shall not be permitted.

2.4 Additive form



The most common older building type in the village is the traditional, rectangular structure with a steep gable roof and an "additive form" resulting from extensions, wings, ells, porches, verandas, dormers and projecting bays or towers added to the basic building component. New houses will fit in most easily if they are designed on this principle.

2.5 Size and massing

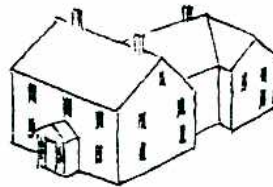
The ground floor area of the main rectangular building component of heritage houses in the village (excluding ells, porches, etc.) varies from about 750 sq.ft. for smaller $1\frac{1}{2}$ storey houses to about 1800 sq.ft. for the largest $2\frac{1}{2}$ storey house (See Appendix 2 of the conservation plan). Once the area of ells, etc., is added, the majority of houses have ground floor areas in the 1200 to 1650 sq.ft. range. The largest house (Carl Williams - the old Silas Crane house) has a total ground floor area of just over 2300 sq.ft.

New houses will fit into the village most easily if their main building component has a ground floor area between 750 sq. ft. and 1800 sq. ft. Where basic ground floor area will exceed 1800 sq.ft., new houses shall be required to have at least one ell, addition, projecting bay, porch, veranda, or other variation in their rectangular plan and three-dimensional form. In other words, small houses may have a simple, rectangular form, whereas larger houses shall be required to have varied massing.

Also, in order that no new dwelling shall substantially exceed the size of the largest heritage house in the village, no new house shall exceed 2400 sq.ft. in total ground floor area.



Houses up to 1800 sq. ft. ground floor area may have simple rectangular form under simple roof structure.



houses over 1800 sq. ft. shall have varied massing up to maximum ground floor area of 2400 sq. ft.

2.6 Proportions (width to length ratio)



The width to length ratios of heritage buildings in the village vary from about 1:1 (square) to about 1:1²/₃ (rectangular). Most old houses have proportions in the range between 1:1¹/₄ and 1:1¹/₂. Most outbuildings have similar proportions although a few tend to be somewhat longer. Only one building exceeds a width to length ratio of 1:2 (the old apple warehouse, with dimensions of 60x200 ft. and proportions of 1:3¹/₃).

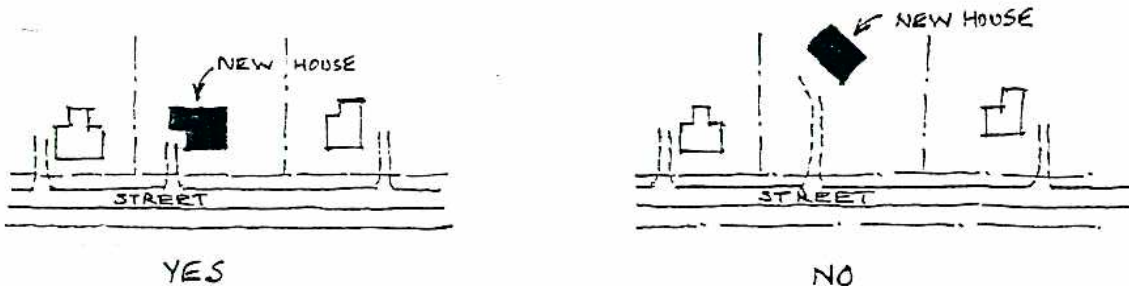
New houses should preferably have a width to length ratio between 1:1 (square) and 1:1¹/₂ (rectangular).

The maximum width to length ratio for a new house shall be 1:2.

2.7 Setback and orientation to the street

Setback from the street varies in different parts of the village. Heritage buildings fronting on the Old Post Road tend to be situated fairly close to the property line, particularly near the village centre. This is also the case with the small cluster of heritage buildings near the Covenanter Church. Buildings fronting on Highway 1, however, are set further back from the road (except for the two commercial buildings at the crossroads). In the centre of the village, where buildings are relatively close to the street, the visual atmosphere is one of enclosure, connectedness, and small scale. In the outer area, where larger setbacks prevail, the feeling is more one of space, separation, and privacy. Old houses are, in almost all cases, oriented parallel to the road.

Where possible, new houses should fit in with the prevailing pattern of setbacks and building orientation in the immediate neighbourhood in order to reinforce the established settlement form.

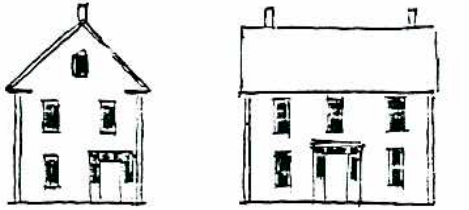


The Land Use Bylaw requires a minimum setback of 45ft. in both the Hamlet Historic Residential zone and the Agricultural zone. In most cases, new houses will be able to meet this requirement and be acceptably situated in relation to existing setbacks. In the very centre of the village, however, some variance from the Land Use Bylaw requirement may be necessary.

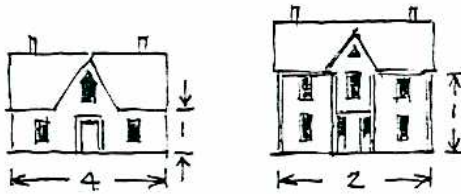
2.8 Facade design

With few exceptions, old houses in Grand Pré have front facades that are visually balanced, symmetrical, and formal in design. The majority are built on the traditional, neo-classical centre-hall plan where the main door is set in the centre of the long elevation with windows regularly placed on either side. A few are built on the side hall plan where the entrance is set in the end elevation in an asymmetrical but nonetheless orderly and visually balanced arrangement. Window and door openings typically occupy up to about 20% of the wall area of the main facade or, where bay windows are used, up to about 25%. Facade edges are defined and framed by trim boards at the corners, under the eaves, and around the windows and doors.

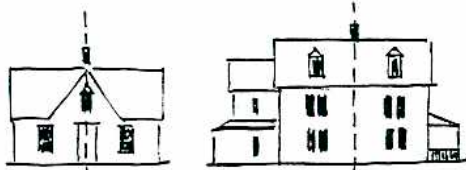
While new houses in the heritage district need not be built as replicas of historical styles, they should be designed and built with reference to these precedents and with respect to the following factors.



Directional emphasis: The facade design should emphasize vertical elements over horizontal elements. This can be most easily achieved by the use of steeply pitched roofs, vertically proportioned windows, and prominent vertical trim boards.



Proportion: The length to height ratio should not exceed 4:1 on single storey houses and 2:1 on two storey houses. If these proportions are exceeded, the facade design and roof treatment should include elements such as projecting bays, dormers or vertical pilasters that interrupt the horizontal lines of the structure and emphasizes vertical design elements.

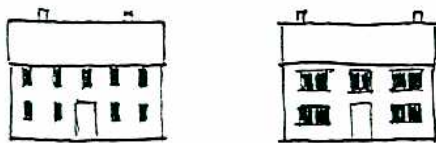


SYMMETRICAL AND BALANCED



ASYMMETRICAL AND BALANCED.

Visual balance: Facade designs should strive for visual balance. Visual balance may be achieved most directly by the use of symmetry (where design elements are equally balanced about a central point, e.g., windows equally spaced on either side of a central door), but asymmetrical compositions are also acceptable. In asymmetrical compositions, visual balance is more elusive and harder to define, but may be achieved by considering the balance and position of individual elements within the design, and by considering lines of continuity from one feature to another.



-25%
YES



+25%
NO

Window to wall area ratio: The area of the facade occupied by window and door openings should generally be no greater than 25%.



ORDERED RHYTHMIC
PATTERN
YES



RANDOM UNALIGNED
PLACEMENT
NO

Rhythm and alignment: Window and door openings should be arranged in a simple, rhythmic pattern, and should correspond in their horizontal and vertical alignment. Random placement of windows is discouraged.

2.9 Windows

Windows on old buildings in Grand Pré are almost all vertically proportioned, vertical sliding sash windows with width to height ratios ranging between about 1:1½ and about 1:2. Some of the oldest houses have six-over-six, nine-over-six, or eight-over-eight glazing, with small panes held in place by narrow glazing bars (muntins), while later buildings have two-over-two, or one-over-one glazing.

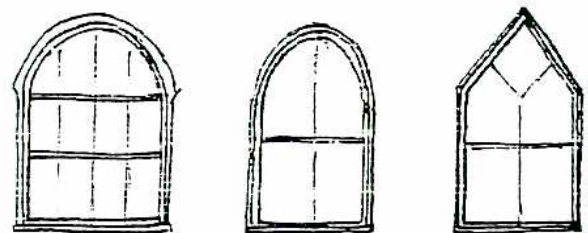
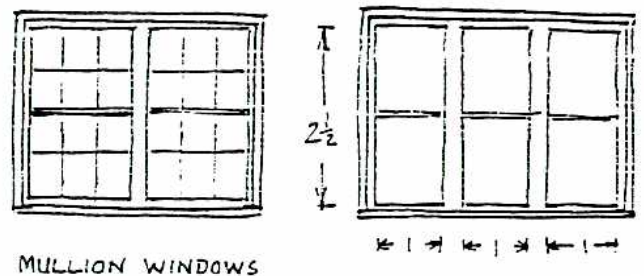
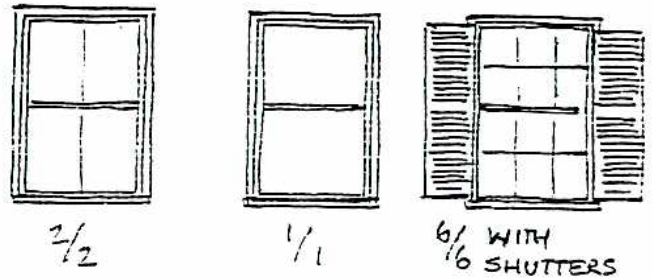
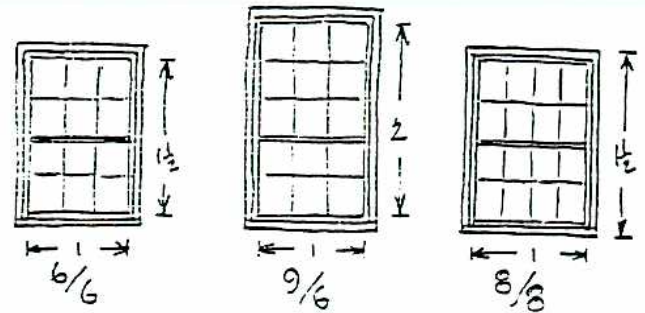
A few houses utilize window shutters which, in some instances, are functional and, in others, purely decorative

On some houses, windows are paired or tripled in wider window openings, framed in with substantial mullions. One house has a bank of windows made up of five sets of 6/6 window sashes. On the Neo-Classical houses, multiple windows are usually situated on the side or rear elevation, so as not to disturb the symmetry of the main facade whereas, on some later Victorian houses, doubled windows are an integral part of the front facade design. On the Victorian and turn-of-the-century houses, double windows often have taller proportions, between about 1:2 and 1:3.

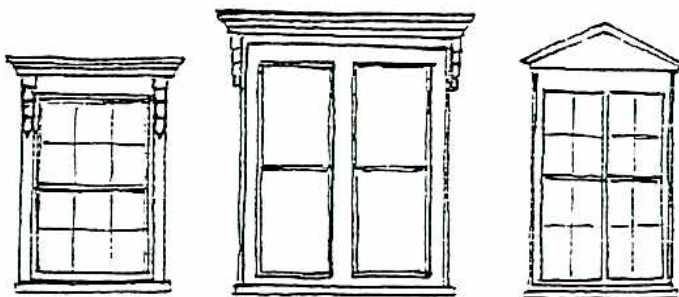
Most windows are rectangular, but there are a few examples of round-headed and pointed windows used as decorative features, particularly in dormers.

In most cases, Grand Pré windows are trimmed simply with plain boards and edge mouldings. A few of the mid-Victorian houses, however, have more elaborate window trim with moulded hoods and ornamental brackets.

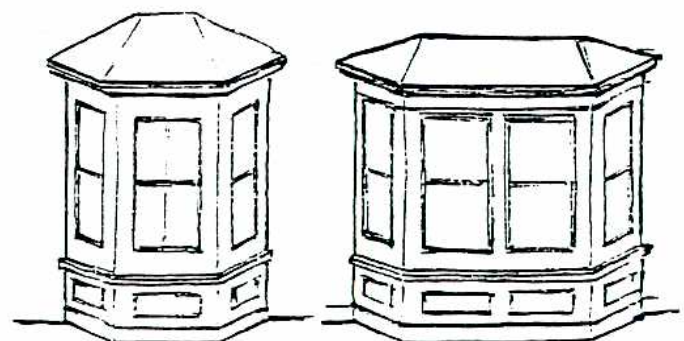
Several houses have bay windows, either rectangular or with sides angled at about 45°.

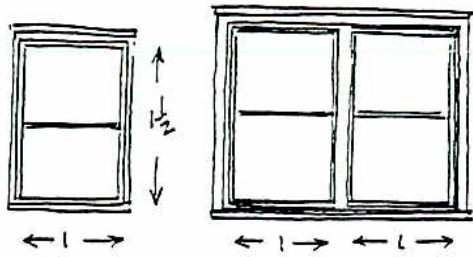


DECORATIVE WINDOWS



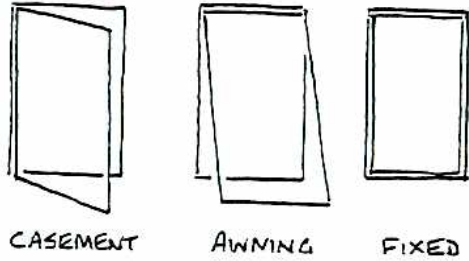
VICTORIAN WINDOWS WITH HOOD MOULDINGS AND BRACKETS, AND BAY WINDOWS.





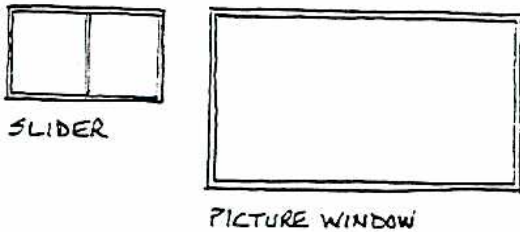
Based on these precedents and models, and in order to achieve visual compatibility with heritage buildings, window openings on the publicly visible principal facades of new houses shall be vertically proportioned with a minimum width to height ratio of 1: 1¹/₂.

Wider window openings may be achieved by combining vertically proportioned windows in a mullioned frame.

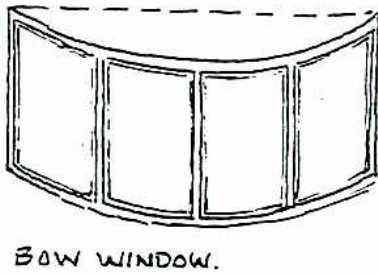


The preferred window type is the traditional, double-hung, vertical sliding sash with ⁶/₆, ⁹/₆, ⁸/₈, ²/₂, or ¹/₁ glazing, but casement, awning, or single fixed pane windows which impart a contemporary image shall also be permitted provided that they are installed in window openings of acceptable proportions.

Bay windows and round-headed, pointed, circular, and triangular windows modelled on the examples found in the village and illustrated in this section, shall also be permitted.

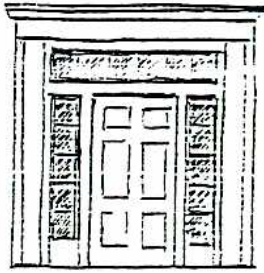


Horizontally proportioned slider windows, picture windows, and curved bow windows have no historical precedent in the architecture of the village, and shall not be permitted on the publicly visible principal facades of new houses.

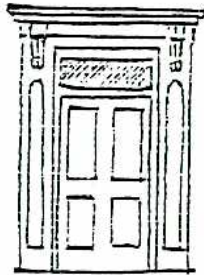


2.10 Doors

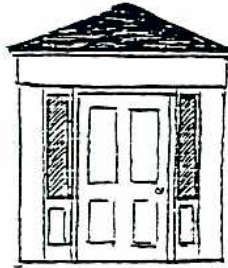
Doors on old Grand Pré buildings are either solid wooden panelled doors or wooden doors with glazed window panels. Many 18th and 19th-century doorways are designed in the Neo-Classical fashion with glazed side and transom lights and an elaborately framed surround, in many cases built as an integral part of a formal, enclosed entry porch. On the early 20th-century houses, doorways are less elaborate, usually with a glazed door set in a simple surround with plain trim. In most cases, main entrance doors are set in the front face of the building or the front face of the porch. In a few cases, the entrance is set in the side of the porch. Although many houses have a back or side entrance which is used for day to day access, there is invariably a formal, front entrance which faces the street and gives the building its "public face".



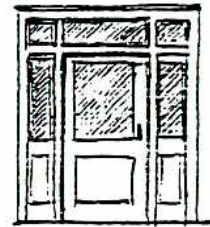
6 PANEL DOOR WITH MULTI-PANED TRANSOM AND SIDELIGHTS.



4 PANEL DOOR WITH TRANSOM LIGHT, MOULDED HOOD AND PANELED TRIM.



4 PANEL DOOR WITH SIDELIGHTS



GLAZED DOOR WITH SIDELIGHTS & TRANSOM

Based on these precedents, the guidelines for doors on new houses in the heritage conservation district



FRONT DOOR

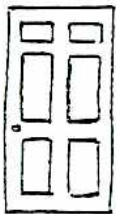


FRONT DOOR IN PORCH

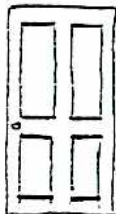


FRONT DOOR IN SIDE OF PORCH

New houses shall have a front entrance facing and visible from the street, and set either in the main facade or incorporated into an enclosed porch.



6 PANEL



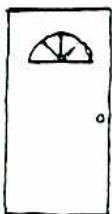
4 PANEL



GLAZED

TRADITIONAL DOORS MORE APPROPRIATE

Doors should preferably be made of wood, should be designed and constructed in traditional rail and stile fashion, and should incorporate recessed panels or combinations of panelling and glazing on traditional models. However, modern, non-wooden doors, designed and constructed in a manner which replicates traditional styles shall also be permitted.



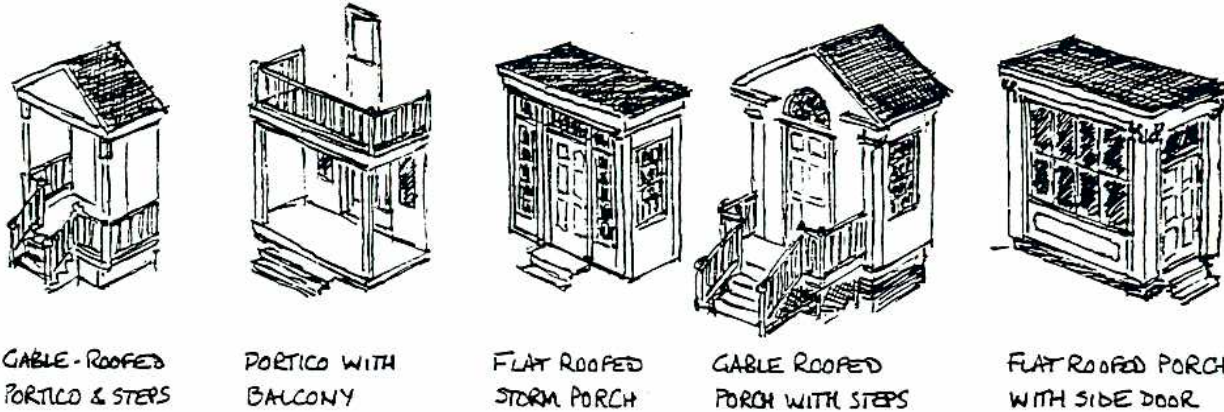
CONTEMPORARY STYLES LESS APPROPRIATE

Modern door styles, which depart significantly from traditional models are discouraged.

2.11 Porticos, storm porches and verandas

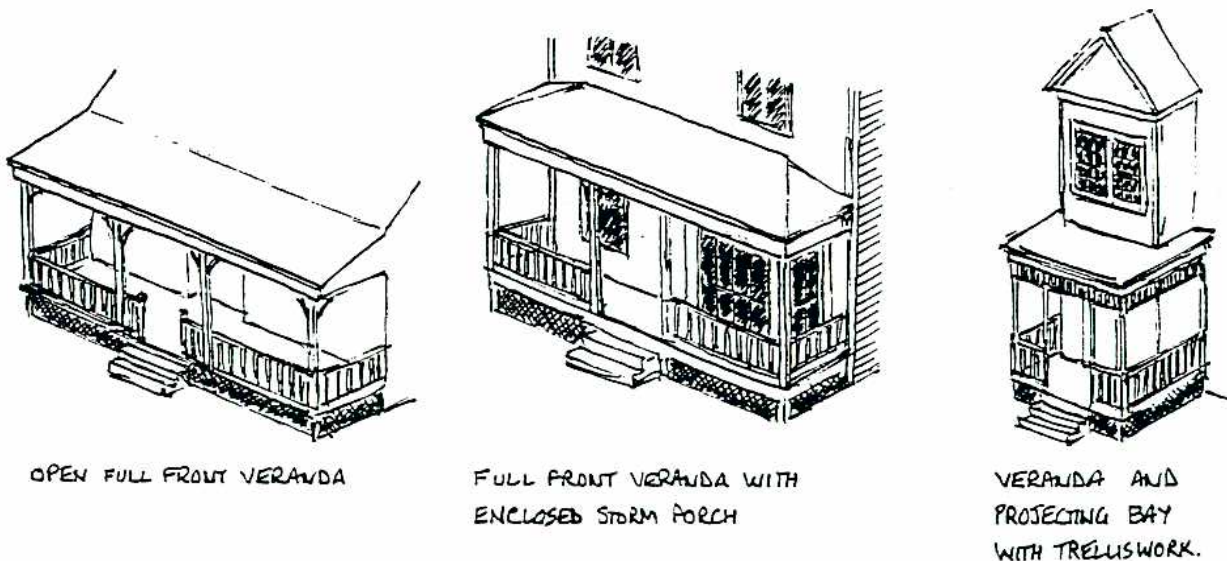
Porticos, storm porches and verandas are a characteristic feature of historic houses in Grand Pré.

Several of the village's Neo-Classical and Gothic Revival houses have simple porticos sheltering the front door, either with a gable roof or with a flat roof and second floor balcony. Several others have enclosed storm porches with either flat, gable or hipped roofs. Several porches are elaborately ornamented with a variety of transom windows, sidelights, fanlights, moulded trim boards and partial pediments. Several of the mid to late 19th-century houses have enclosed storm porches with the door set in the side and the porch front glazed in with a large, eight-pane window. In some cases, the glazed-front storm porch is combined with a veranda.



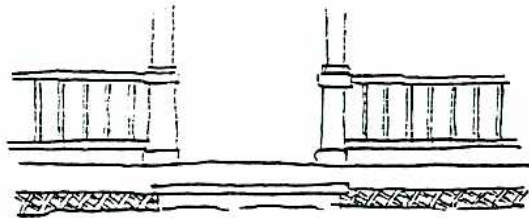
Several late 19th-century houses have verandas with turned posts and bracketted trelliswork typical of the period. Some verandas are combined with bay windows, two-storey projecting bays, and storm porches. Some verandas are relatively small, sheltering the entrance alone while others are larger, extending across the full width of the building.

The two early 20th-century houses in the village both have full front verandas.

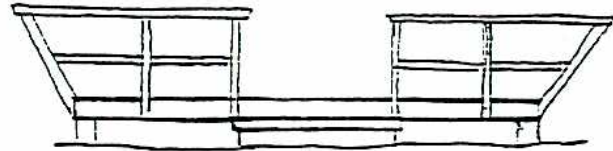


Guideline: New houses are not necessarily required to incorporate these features, but architectural compatibility will be enhanced if they are utilized in some way or another. Porches, porticos and verandas are a particularly effective way of increasing the visual interest of a house and of giving clear visual definition to the main entrance.

Railings on porches, verandas, and balconies should be designed in the traditional manner with an upper and lower rail and vertical balusters. Balusters may be plain (rectangular profile) or lathe-turned. Contemporary railing designs which emphasize horizontals or diagonals are discouraged.



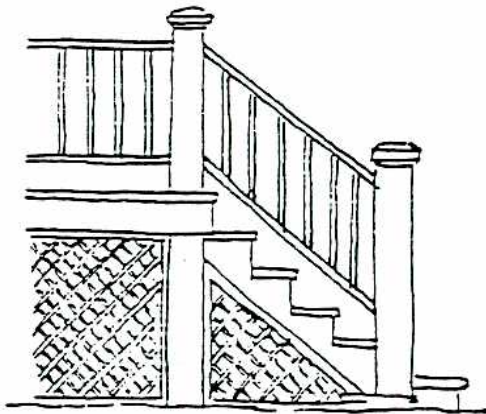
YES



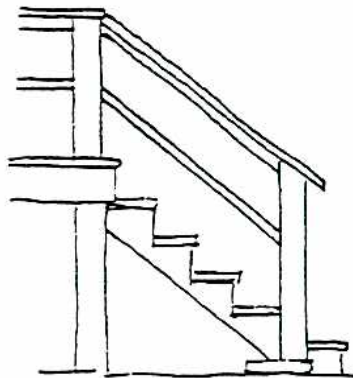
NO

Except for steps associated with a front porch or veranda, exterior staircases should be located on the side or rear of a house. The stair carriage should be constructed with closed risers and treads rather than open treads, so as to impart a solid and substantial appearance. Railings should be designed in the traditional manner with upper and lower rails, vertical balusters and capped newel posts.

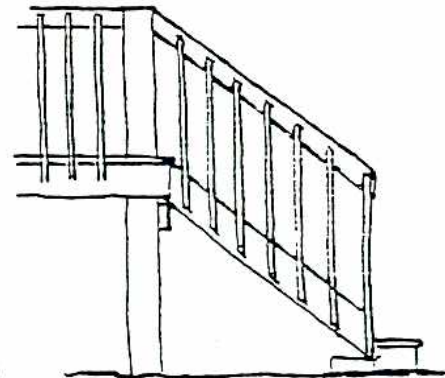
Utilitarian designs featuring handrails without balusters, and contemporary designs with sawn pickets attached directly to the outside of the top rail and stair carriage are discouraged.



YES



NO

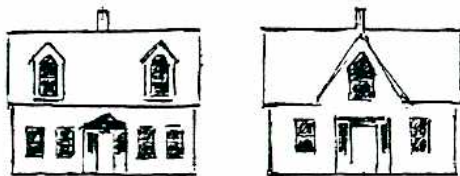
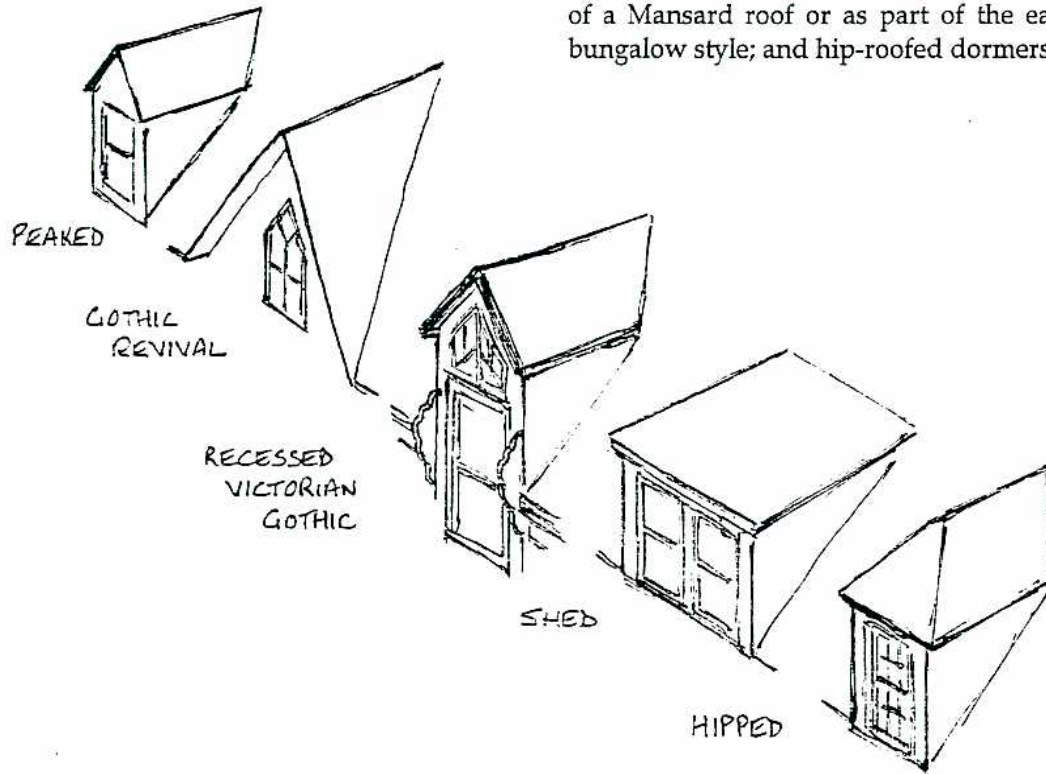


NO

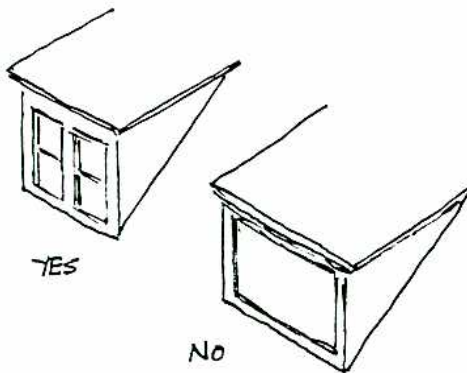
The undersides of porches, verandas and exterior stairs should be screened, with lattice recessed behind the supporting members.

2.12 Dormers

About one half of the old houses in Grand Pré have some form of dormer in the roof. Dormer styles include: peaked dormers; large, triangular Gothic Revival dormers with roof slopes varying between about 30° ($7/12$) and 50° ($14/12$); Victorian Gothic dormers recessed into the roof eaves; shed-roofed dormers, either as part of a Mansard roof or as part of the early 20th-century bungalow style; and hip-roofed dormers.

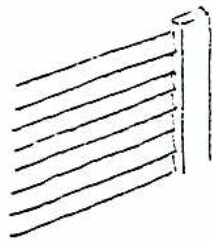


Any of these styles may be used on a modern house to add visual interest to the roofline. New dormers will fit best with the architectural tradition of the village if they are placed centrally over the front entrance and/or symmetrically in the roof, in alignment with windows on the lower storey.

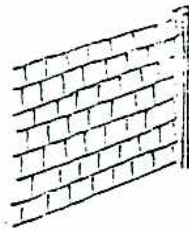


Like windows in the main facade, dormer windows should be vertically proportioned. Wide window openings may be achieved by combining windows in a mullioned frame.

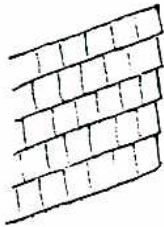
2.13 Cladding and trim



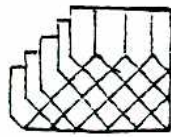
CLAPBOARDS AND CORNERBOARD



SHINGLES AND CORNER STOP



WIDE COURSE SHINGLES



DIAMOND PATTERN SHINGLES.

Except for a one masonry building (the memorial Church of St. Charles), all historic buildings in Grand Pré are constructed of wood.

Most old buildings in the village are clad in wooden shingles or, less commonly, clapboards laid in narrow courses, about 3¹/₂ to 4¹/₂ inches to the weather.

On most buildings the exterior shingle cladding is butted against wooden trim boards at the corners of the facade. On some buildings, corners are finished with quarter-round corner stops instead of cornerboards. There are also a few buildings, notably the two early 20th-century bungalows, where shingles are laid in wider courses (5" - 8" to the weather) and butted at the corners without corner boards.

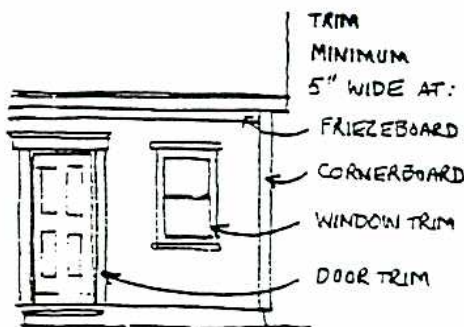
In addition, there are two houses where small areas of decorative, diamond-pattern shingles are used as an ornamental treatment.

Traditional wooden cladding materials contribute significantly to the architectural character of Grand Pré. They have a particular visual texture caused by the play of light and shade on their overlapping edges and the slight unevenness in their sawn and planed surfaces. They also have an intrinsic structural quality that creates a solid, well-built appearance that modern metal or plastic substitutes cannot replicate.

To achieve the greatest compatibility, new houses constructed in the heritage conservation district should be clad in wooden materials on the model of traditional cladding.

More modern materials such as vinyl or aluminum siding are strongly discouraged but are not absolutely prohibited. If they are used they shall be of the type which replicates the appearance of traditional narrow clapboards (about 4¹/₂ inches to the weather) and shall be installed with painted wooden trim around windows and doors and corners. Specific requirements for the installation of vinyl and aluminum siding are illustrated in section 5.0 of these guidelines.

Brick is not a traditional cladding material in Grand Pré and shall not be permitted on new houses.



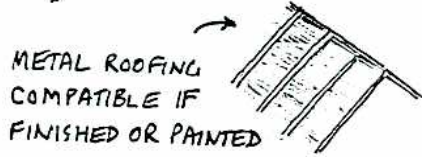
WOODEN BOARD TRIM

Wooden trim around windows, doors and corners shall, at minimum, consist of 5" wide (nominal 6") boards. Wider trim boards shall also be permitted, along with more elaborate trim treatments (brackets, dentils, moulded panels, eaves returns, etc.), modelled on the trim found on many old houses in the village and as illustrated in Appendix 1 of the conservation plan.

2.14 Roofs and chimneys



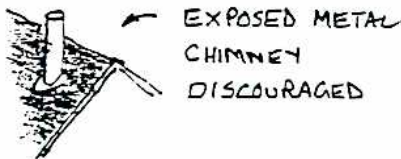
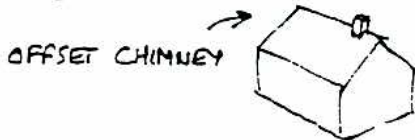
Roofing materials on new houses should be asphalt shingles, traditional wooden roof shingles or other synthetic materials which replicate these.



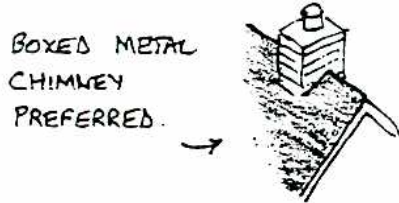
Sheet metal roofing should not be used on new houses unless it has a painted finish.



Chimneys on new houses should preferably be constructed of brick and should emerge at or near the the roof ridge, as centre or offset chimneys, on the model of chimneys on older houses in the heritage conservation district.

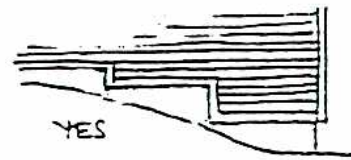
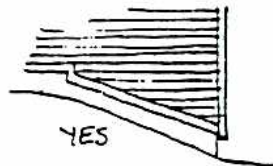
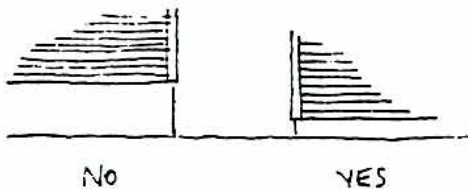


Metal chimneys are discouraged except where they are boxed in a wooden structure which replicates the form of a traditional brick chimney.



2.15 Foundations

New houses should not have large areas of exposed bare concrete foundation. On steeply sloping sites, a foundation should be stepped or sloped to enable cladding to be brought as close as possible to grade.



3.0 COMMERCIAL BUILDINGS

3.1 Form

Under Municipal Planning Strategy new commercial buildings are allowed in the Grand Pré Hamlet Historic Residential zone only by Development Agreement subject to the condition, among others, that they must be "architecturally compatible with the historical and pastoral setting of the community in terms of design, scale, and building materials."

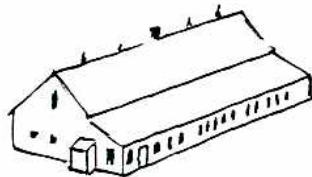
The precedents for commercial construction in the village include only one 19th-century building (the store) and two early 20th-century buildings (the service station and the old apple warehouse). Other commercial buildings are more recent and include the Motel/Tearoom complex (1950s), the Grand Pré Winery buildings (1960s/70s), and two barns converted to commercial use (the Williams Tearoom/Gift Shop and the Morse Sign Shop). These more recent commercial buildings are broadly compatible with earlier buildings and, for the purposes of these guidelines, are adopted as reasonable models for new buildings, along with the model of earlier buildings.

New commercial buildings constructed in the heritage conservation district, therefore, shall have a form similar to or adapted from one of the following:

(not to scale)



2½ storey Neo-Classical Residence & Store with commercial storefront & recessed entrance.



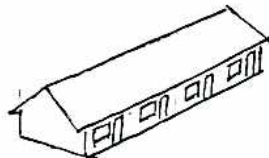
1½ storey former apple Warehouse



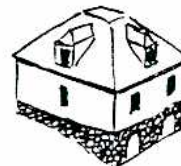
1½ storey Picturesque Queen Anne style Service Station with modern addition (1995)



Motel Tearoom/Gift Shop truncated hip roof, lean-to wing, and flat-roofed rear ell.



Motel units with gable roof



Grand Pré Winery Truncated hip roof with hipped dormers & stone foundation.



Tearoom / Gift Shop Saltbox style roof Converted from storage to commercial use.



Sign shop Gable roof barn converted to Saltbox style.

New commercial buildings may also be modelled upon any of the traditional domestic building forms found in the village, as illustrated in section 2.1 of these guidelines and section 2.3 and Appendix 1 of the conservation plan.

3.2 Height

New commercial buildings shall not be more than 2½ storeys high or 35 ft., whichever is less.

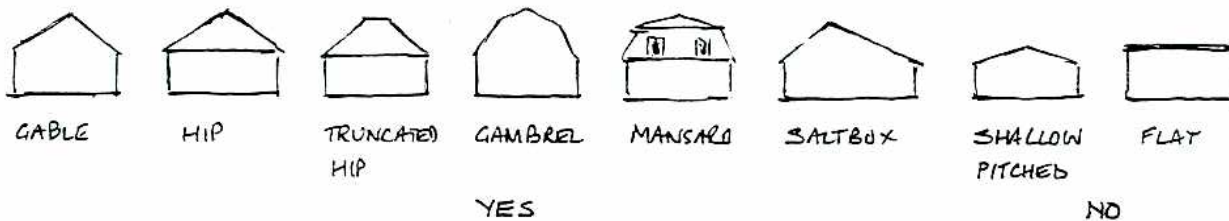
3.3 Roof pitch

As with domestic buildings (see section 2.3) and based on the precedent of existing roof pitches, the minimum roof pitch on a new commercial building shall be 8/12.

Acceptable roof styles include gable, hip, truncated hip, gambrel and mansard.

Saltbox roofs with one steep side (minimum 8/12) and one shallower side shall also be permitted, provided that the steep side or the end elevation faces the street.

Commercial buildings with flat roofs or shallow pitched roofs (less than 8/12) shall not be permitted.



3.4 Size and massing

The ground floor area of existing commercial buildings in Grand Pré (with the exception of the old apple warehouse and the motel) varies between about 750 sq.ft. (the service station before the recent addition) and about 2000 sq. ft. (the motel tearoom). The old apple warehouse and the motel itself are unusually large with ground floor areas of about 12,000 sq.ft. and 9000 sq.ft. respectively.

New commercial buildings will fit into the village's small architectural scale most easily if they have a ground floor area in the 750 - 2000 sq.ft. range, on the model of existing commercial buildings. Where buildings larger than 2000 sq.ft are proposed, they shall be required to have varied massing, with interconnecting components each no larger than 2000 sq.ft. Varied massing and the appearance of "additive form" will reduce the apparent scale of a large building and enable it to fit more compatibly with surrounding buildings.

As with domestic buildings, the width to length ratio of a new commercial building (or of each component in additive form) shall not exceed 1:2.

Generally, large buildings on the model of the apple warehouse and the motel complex should be located on large lots on the periphery of the village.



COMMERCIAL BUILDINGS UP TO 2000 SQ. FT. MAY HAVE SIMPLE RECTANGULAR FORM UNDER SINGLE ROOF.



COMMERCIAL BUILDINGS OVER 2000 SQ. FT. SHALL HAVE VARIED MASSING.



WIDTH TO LENGTH RATIO OF EACH COMPONENT SHALL NOT EXCEED 1:2.

3.5 Facade design

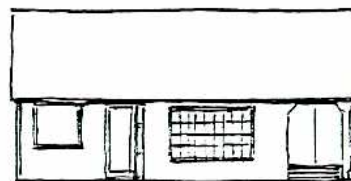
Commercial buildings in the village fall into two types - buildings originally intended for commercial use (e.g., the store and the service station), and buildings converted to commercial use from other uses (e.g., the Williams tearoom/craft store and the Morse sign shop, both converted from barn/storage uses). The purpose-built commercial facades follow formal design conventions, utilizing symmetry (the store) or visually balanced asymmetry (the service station), whereas the converted building facades are less formal, with window and door placements either continued from earlier uses or inserted according to need and available wall space.



SYMMETRICAL COMMERCIAL FACADE (RENOVATED).



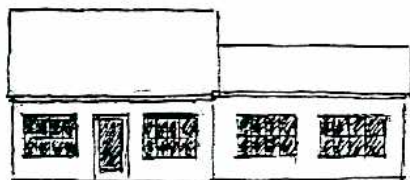
ASYMMETRICAL COMMERCIAL FACADE



INFORMAL COMMERCIAL FACADE

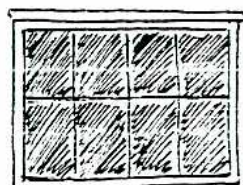
New commercial buildings may follow any of these design conventions, with context providing the primary rationale for the design choice. In circumstances where a new commercial building is to be situated close to (or within the visual proximity of) a house, then the choice should probably be for formality of design. Where a new commercial building will be visually related to a neighbouring barn or other outbuilding, however, then the informal approach may be more appropriate.

Generally, the guidelines outlined in section 2.8 (facade design for houses) will also apply to new commercial buildings, with the following modifications:

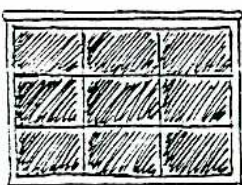


Window to wall area ratio

The amount of wall space taken up by window and door openings will be larger on a commercial building than on a dwelling. Openings may occupy up to 75% or more of the first floor front elevation.



YES



NO

Proportion and directional emphasis of windows

Storefront window openings need not be vertically proportioned but any subdivision of the windows into smaller panes should utilize square or vertically proportioned units, as this more closely respects the 19th and early 20th century tradition in storefront design.

3.6 Materials

The guidelines for materials on new houses outlined in sections 2.13, 2.14, and 2.15 shall also apply to new commercial buildings in the heritage conservation district.

Wood is the preferred cladding material.

4.0 GUIDELINES FOR CONSERVATION/ALTERATION OF EXISTING BUILDINGS

4.1 General criteria for architectural conservation

- .1 **Maintain original use & and make minimal alterations:** Every reasonable effort should be made to use a property for its original intended purpose or to provide a compatible new use which requires minimal alteration of the building.
- .2 **Retain original features:** The distinguishing original qualities or character of a building should be maintained and conserved, including any alterations or additions that may have occurred over the life of the building and which may have historic architectural significance in their own right. The removal or alteration of historic material or distinctive architectural features should be avoided wherever possible.
- .3 **Repair rather than replace:** Deteriorated architectural features should be repaired rather than replaced. In the event replacement is necessary, the new material should match the material being replaced in composition, design, colour, texture and other visual qualities.

4.2 Compatible additions and alterations permitted

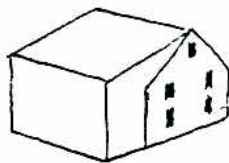
Additions and alterations to existing buildings in the heritage conservation district shall be permitted provided that they do not destroy or obscure significant historic architectural features and provided that they are designed and constructed in a manner which is compatible with the style, scale and materials of the existing building and the character of the immediate neighbourhood.

This guideline applies both to heritage (pre-1930 buildings) and modern (post-1930 buildings). Thus, an addition to a 19th-century house should be compatible with the 19th-century style of the existing building, whereas an addition to a 1960s bungalow should be compatible with the 1960s character of the building.

4.3 Size of additions



YES

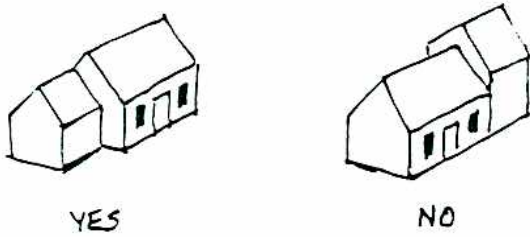


NO

When an addition is made to an existing building it is important that the addition does not overwhelm the original structure.

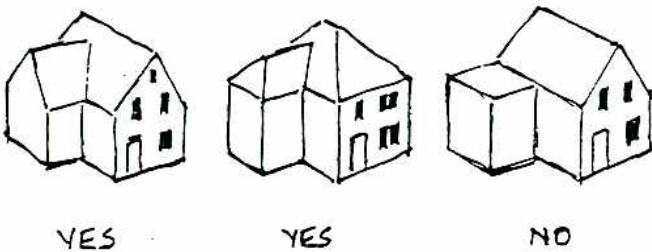
Generally, an addition should be visually subordinate to the principal structure and visually distinguishable from it so as to reveal the original form of the building.

4.4 Height of additions



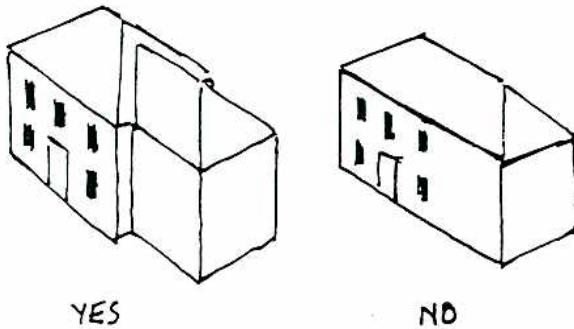
The height of an addition should not exceed the height of the structure to which it is attached except where practical or aesthetic considerations dictate otherwise.

4.5 Form and roof shape on additions



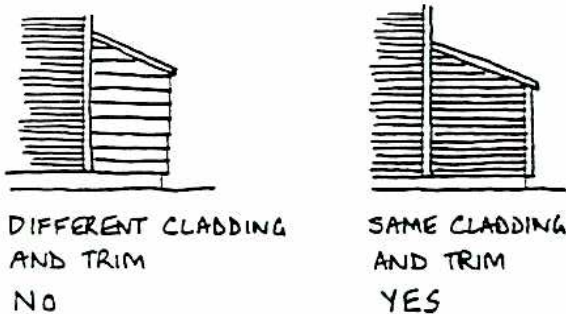
Additions should have a form and roof shape that matches or reflects that of the principal structure.

4.6 Side additions should be offset from main facade



Additions on the side of a building should be offset from the main facade in order to preserve the integrity and original form of the facade and to visually distinguish the addition from the original building.

4.7 Cladding and trim on additions

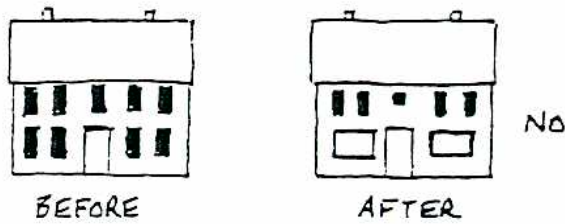


The guidelines for exterior materials on additions are the same as those for exterior materials on new buildings, as listed in section 2.13. Generally, the cladding and trim on an addition should match the cladding and trim on the original structure in terms of its style, exposure to the weather and alignment.

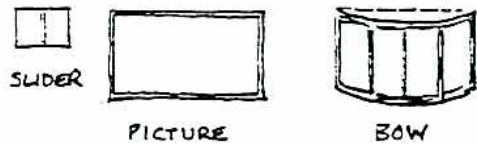
Wooden clapboards or shingles are preferred over vinyl or aluminum siding. If vinyl or aluminum siding are used, however, they shall be installed in accordance with the guidelines outlined in section 5.0

4.8 Window alterations

Windows and window trim are one of the most important character defining elements of heritage buildings in Grand Pré and should not be altered, closed in or blocked off without consideration of the visual impact of such changes.

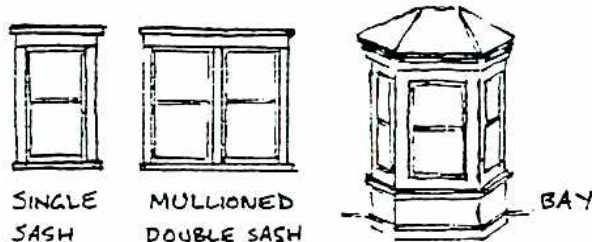


Where existing windows need to be replaced or renovated, the new windows shall have the same or similar proportions as the original windows and shall not alter the established window pattern in the facade in terms of its visual balance or directional emphasis.



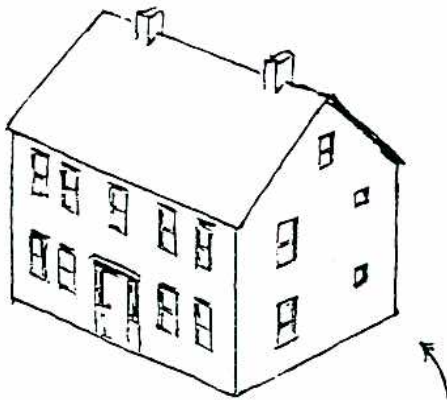
Existing vertically proportioned windows shall not be replaced by small, horizontally proportioned sliders, picture windows or curved bow windows.

WINDOW TYPES DISCOURAGED



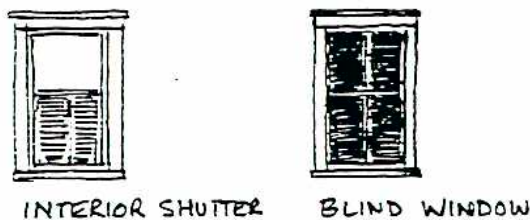
WINDOW TYPES ENCOURAGED

Where window openings wider than those which exist on the building are desired, then mullioned windows or traditional bay windows may be an appropriate solution depending on the historical style of the building. New windows should match the glazing style of existing windows ($\frac{6}{6}$, $\frac{9}{6}$, $\frac{8}{8}$, $\frac{2}{2}$, $\frac{1}{1}$, etc.) and should be trimmed in the same manner - see section 2.9 of these guidelines.

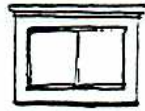
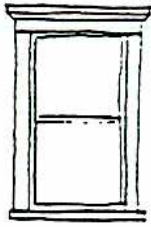


WINDOW ALTERATIONS LESS NOTICEABLE ON SIDE OR REAR ELEVATION.

If interior renovations require a window to be blocked or reduced in size (e.g., in kitchen or bathroom renovations), then the interior plan should be arranged so that the window alterations fall on a side or rear elevation where window alterations are less noticeable, rather than on the front elevation, where window alterations stand out.



One alternative to blocking windows off or reducing their size is to use interior shutters. Alternatively, consideration should be given to the use of the "blind window" technique, where the window opening is converted to solid wall between the casings but the exterior glazing and trim remains intact so as to preserve the integrity of the exterior window arrangement.



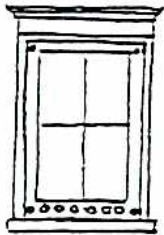
SMALL WINDOW LOOKS BEST
IF ALIGNED WITH EXISTING
WINDOW AND TRIMMED
SYMPATHETICALLY.



NO

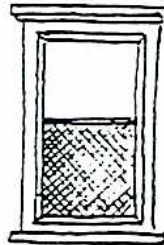


YES

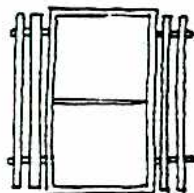


WOODEN STORM WINDOWS
PREFERRED

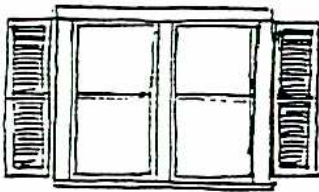
ALUMINUM STORM
WINDOWS OK IF
SASH DIVISIONS
CORRESPOND AND IF
METAL SURFACE IS
PAINTED



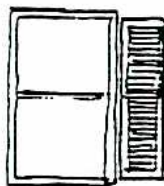
YES



NO



NO



NO

Where non-traditional replacement windows are used in a facade they should be aligned with existing windows and trimmed in the same manner, preferably with wide board trim and an articulated cap and sill, so as to establish as much visual continuity as possible between the old and the new.

Windows on additions which are visible from an adjacent public street should continue the pattern, rhythm, proportions and alignment of windows on the original structure.

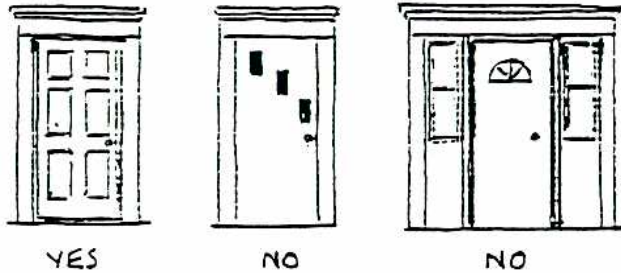
While removeable wooden storm windows are preferred for use on historic buildings, fixed aluminum storm windows are permitted even though they may sometimes detract from historic appearance if not used sensitively.

Generally, the visual impact of aluminum storm windows will be minimized if they have sash divisions that correspond with those of the windows being covered; if they have narrow flanges at the edges (so as to reduce their visual mass); and if they have a painted finish that corresponds with the window trim colour rather than a natural or bare aluminum finish.

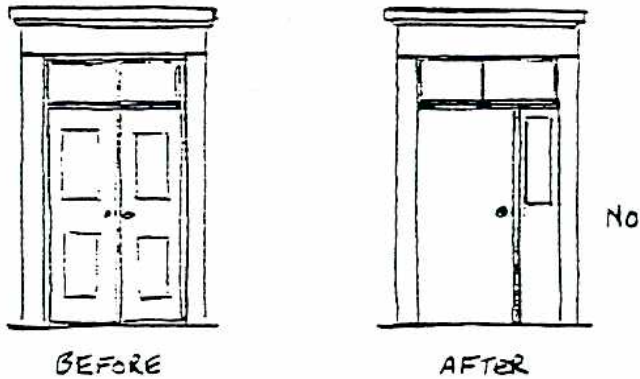
Exterior window shutters or plastic replicas thereof should be used with caution. Generally, exterior shutters should look as if they are operable and would cover the entire window, even though they may in fact be fixed to the wall. Narrow shutters beside wide windows are visually incongruous, as are single shutters.

4.9 Door alterations

The entrance is usually the visual focus of an historic building and the feature upon which most decorative attention is lavished. Alterations should not be undertaken without careful consideration of their visual impact.



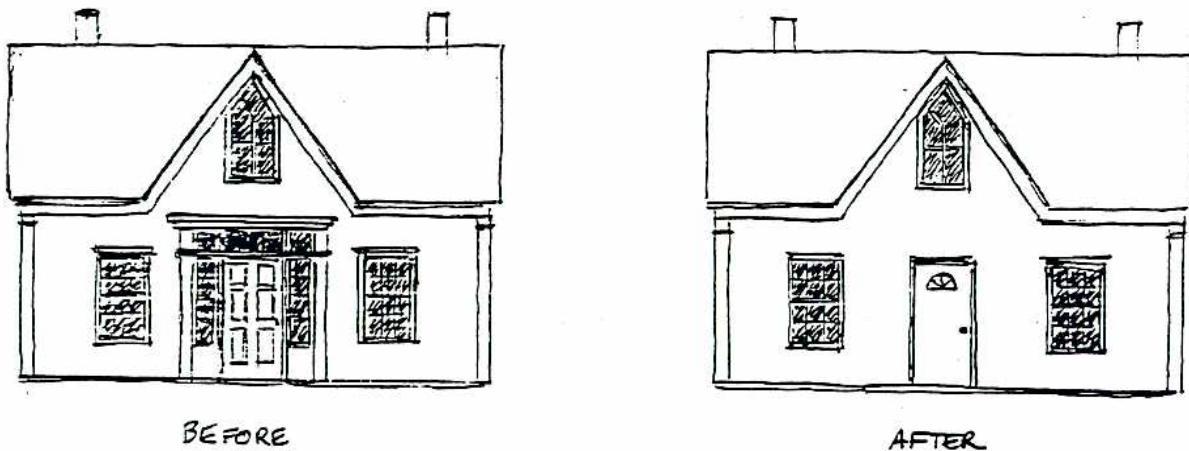
Where existing doors need to be replaced, the new door should match the historic style of the building and the entrance as closely as possible. Wooden doors of traditional rail and stile construction, with or without glazed panels, (see section 2.10) are preferred to modern metal doors or flush surface doors. Metal or vinyl reproductions of historic doors may be an appropriate compromise where wooden doors are unavailable or too costly.



NO

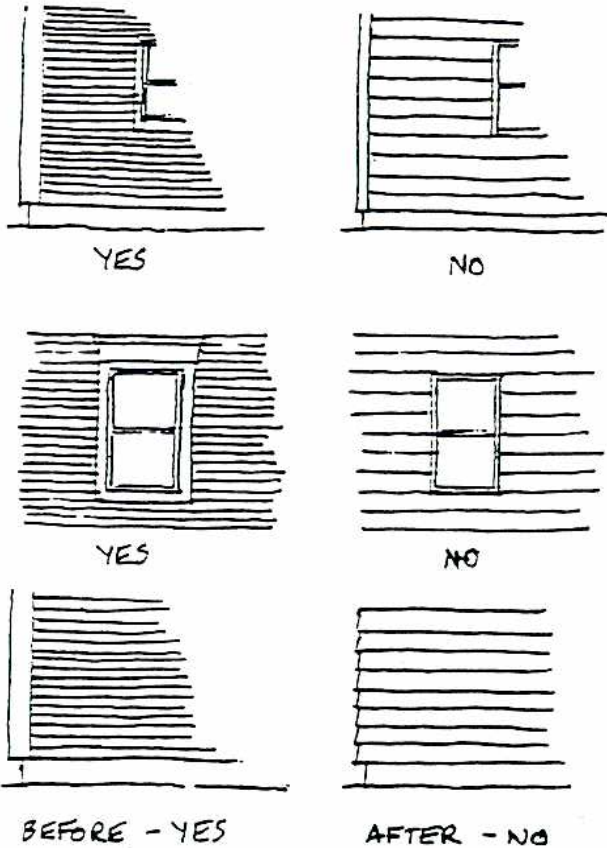
Where a doorway has sidelights, a transom window or double doors, the original structural divisions within the entrance should be maintained.

Sidelights and transom windows should not be closed in and the surrounding trim removed, as this can reduce the visual prominence of the entrance and significantly diminish the character of the facade.



4.10 Exterior surface materials - cladding and trim

Old clapboard and shingle wall surfaces comprise a major part of the historic fabric of the village and should be retained and conserved wherever possible. With proper maintenance and regular repainting and caulking, wooden materials can last indefinitely. As a financial incentive towards such maintenance, non-commercial property owners in the heritage conservation district are eligible for rebate of the Provincial Sales Tax on materials used in exterior conservation, including the cost of paint.



In the event that existing cladding must be replaced, then new wooden siding or shingles should be used and efforts should be made to match the appearance and texture of the original as closely as possible, particularly with respect to the width of courses and the thickness of the material. In most cases, the course width will be roughly $4\frac{1}{2}$ inches to the weather. Replacement of narrow clapboards or shingles with wide siding or shingles should be avoided as it can adversely affect the scale and appearance of a historic building.

Existing trim should also be retained wherever possible but if replacement is necessary then the new should match the old, particularly with respect to the width of cornerboards and the trim around windows and doors. In many instances, these features are an integral part of the original building design, and altering their width can subtly diminish the overall architectural character.

Where a building has cornerboards, these should not be replaced by butted shingles.

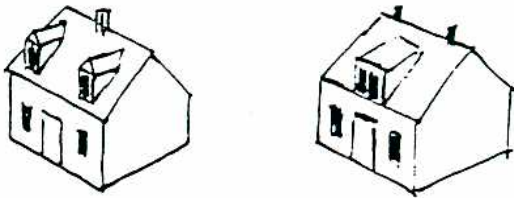
Vinyl and aluminum siding are strongly discouraged as a replacement cladding material for old buildings. These materials are texturally incompatible with the predominantly wooden context of Grand Pré and, if improperly installed, can contribute to vapour problems and wood rot within the wall cavity, thus directly conflicting with the principles of heritage conservation. At the same time, it is recognized that, with caution and attention to detail, vinyl and aluminum can be installed in a way that closely resembles traditional wooden cladding when viewed from a distance and can be non-threatening to the life of the building if proper insulation and interior vapour barriers are installed concurrently. For these reasons vinyl and aluminum siding are not absolutely prohibited in the heritage conservation district. Guidelines for their installation are described in section 5.0.

Brick is not a traditional cladding material in Grand Pré and is not permitted as a replacement cladding for buildings in the heritage conservation district.

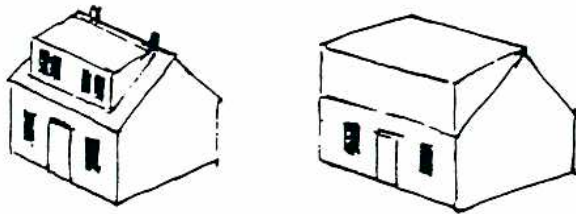
Synthetic brick and stone and asphalt composition fibre siding are also not permitted.

Wooden board and batten siding was not traditionally used on Grand Pré houses but is considered appropriate for use on outbuildings.

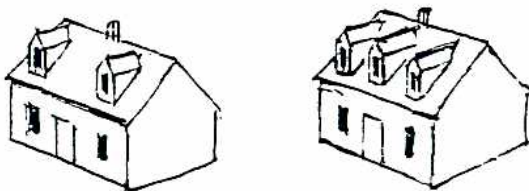
4.11 Dormers



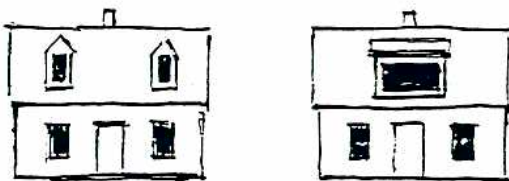
SMALL DORMERS RESPECT EXISTING ROOF SHAPE, ENHANCE ROOF LINES AND ALIGN WITH FACADE FEATURES.



LARGE SHED DORMER TENDS TOWARDS SUBSTANTIAL ALTERATION OF ROOF SHAPE



NEW DORMERS MATCH EXISTING



YES

NO

New dormers are permitted on existing buildings but should not substantially alter the established shape or form of the roof. Generally, dormers look best on old houses if they are relatively small, occupying no more than about one third of the width of the roof, and if they are vertically aligned with the window and door openings in the facade below.

If a large, shed dormer is incorporated into a pitched roof, it shall be inset from the roof verges so as to preserve the underlying form of the roof. Wide shed dormers tend towards a substantial alteration of roof shape and should preferably be located on the rear of the house.

Where dormers already exist in a roof, new dormers should match or complement the existing dormers in style, proportion and trim.

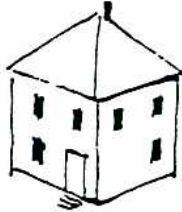
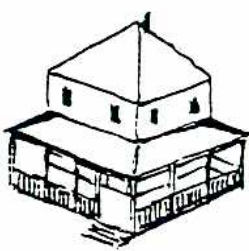
Similarly, windows in new dormers should be similar in style and proportion to existing windows in the facade.

See also section 2.1 and Appendix 1 of the conservation plan, which illustrate traditional use of dormers in the village, and section 2.12 of these guidelines for dormers on new buildings.

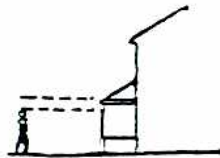
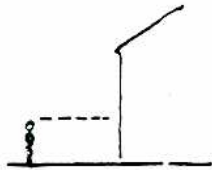
4.12 Porticos, porches, verandas, and exterior stairs

Porticos, porches, and verandas make a considerable contribution to the architecture of Grand Pré and, like other architectural features, should be maintained and conserved without alteration wherever possible. However, additions and alterations, as well as new porticos, porches, verandas, and decks, are permitted provided that they are in keeping with the existing style of the structure.

The guidelines for alterations to porches, porticos, and verandas are the same as those for new structures, as described in section 2.11.



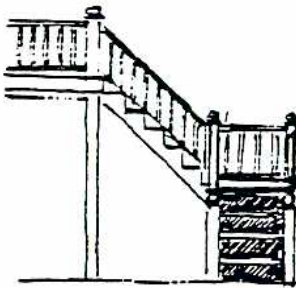
ADDITION OF PORCH INCREASES VISUAL MASS.



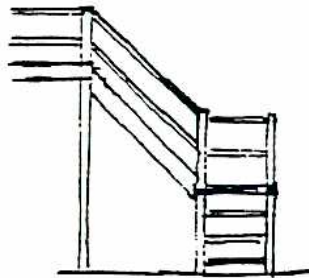
ADDITION OF PORCH REDUCES SCALE.

Generally, the addition of a porch, especially an enclosed porch, will increase the visual mass of a house while at the same time reducing its scale relative to a human being. Conversely, the removal of a porch will make a house seem smaller.

4.13 Exterior stairs



FORMAL STAIR DESIGN
MORE APPROPRIATE



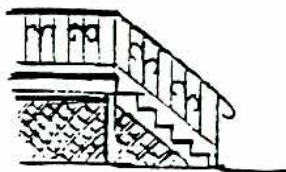
UTILITARIAN DESIGN
LESS APPROPRIATE

Exterior stairs may be added to existing buildings provided that they are compatible with the style of the building to which they are attached. Generally, this will mean that wooden staircases should be designed in formal fashion, with closed risers, capped newel posts and balustered railings with upper and lower rails, painted and finished.

Utilitarian designs featuring handrails without balusters, and contemporary designs with sawn pickets attached to the outside of the rail and stair carriage are discouraged.

Where possible, the undersides of exterior staircases should be screened with lattice recessed behind the supporting members.

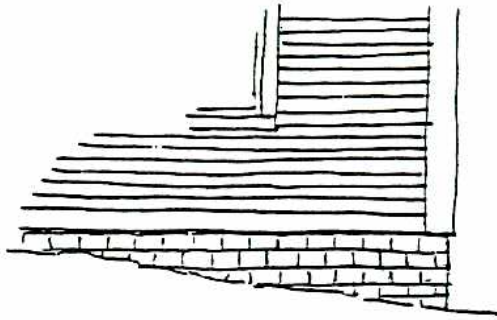
Wrought iron staircases may also be appropriate, particularly where a more massive wooden staircase structure would obscure existing architectural features.



WROUGHT IRON
STAIRCASES ALSO
PERMITTED

Exterior staircases added to heritage buildings should be unobtrusive and, where possible, should be located at the rear, out of public view.

4.14 Foundations



Many older buildings in Grand Pré are built on stone foundations with brick facing above grade. The exposed portions of old foundations contribute significantly to the historic character of the district and should be conserved and maintained wherever possible.

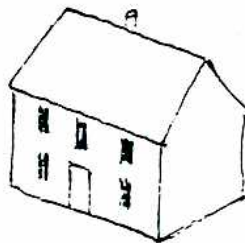
Where it is necessary to rebuild a foundation using concrete, the new foundation should replicate the old in terms of the amount of exposure above grade. Large areas of exposed concrete are discouraged.

4.15 Chimneys, skylights, and roofing materials

Some early houses in the village have massive central chimneys connected to fireplaces and bake ovens. Later houses generally have smaller offset chimneys connected (or formerly connected) to stoves. The penetration of brick chimneys through the rooflines of old houses is an important aspect of their historic character. An old house without its chimneys always looks like something essential is missing. Wherever possible, deteriorated brick chimneys should be rebuilt and restored rather than removed.



EXISTING CHIMNEYS
SHOULD BE
CONSERVED



METAL CHIMNEYS
SHOULD BE LOCATED
ON BACK ROOF SLOPE

Modern insulated metal stovepipe chimneys are a convenient way of introducing wood heat into a heritage building where old chimneys may be of questionable safety, but their visual impact on the exterior can be significant and their use is discouraged. If used, they should be located on the back of the building, facing away from the street, rather than on the front of the building and should preferably be boxed in a wooden structure replicating the form of a traditional chimney.



YES



NO

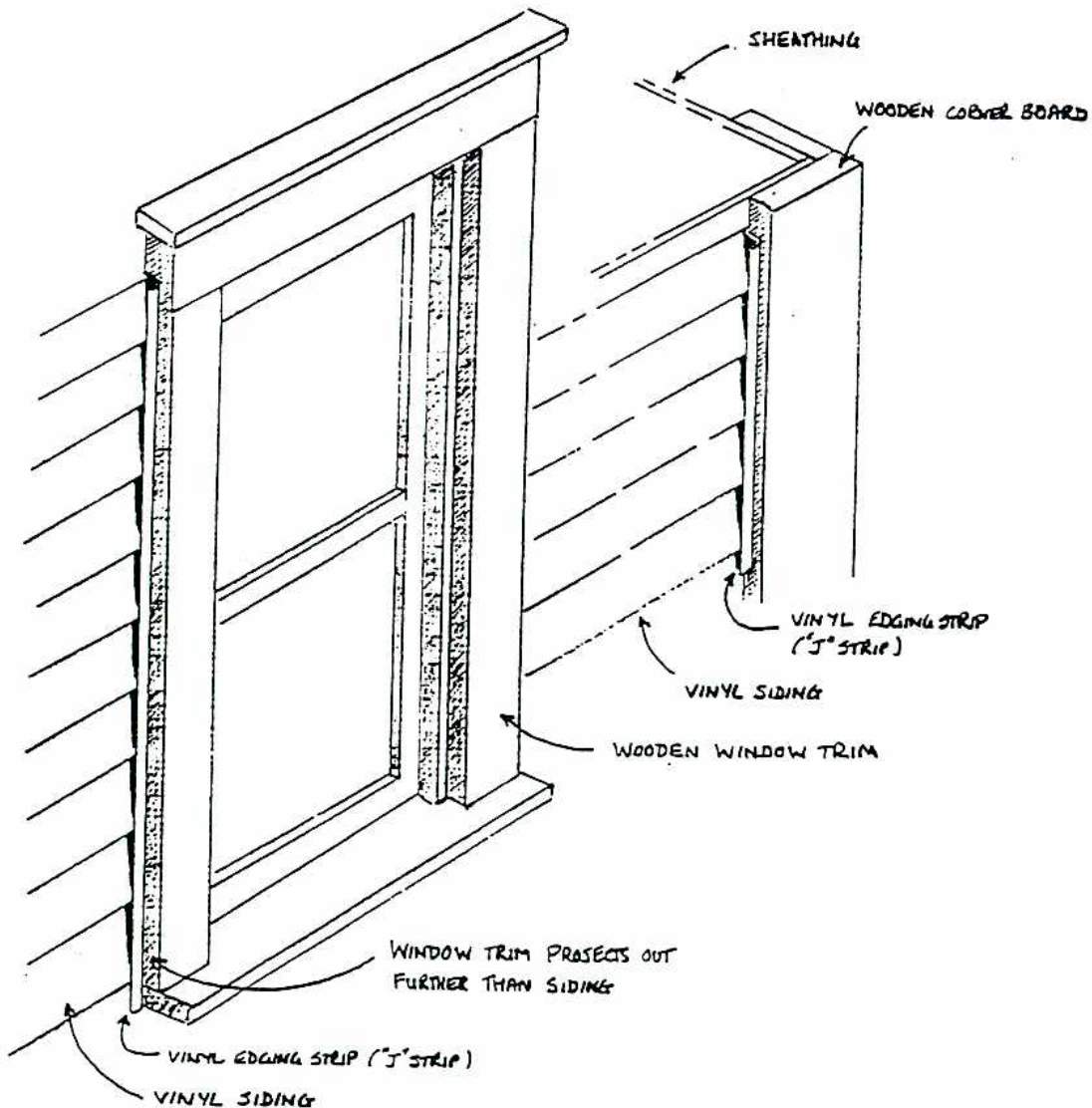
Similarly, skylights are a convenient modern way of illuminating attic spaces or poorly lit interior rooms. However, they can appear incongruous on a heritage building and, if used, should be located at the rear. Flat glazed skylights are preferable to bubble skylights.

Roofing materials on heritage buildings should be wooden shingles, asphalt shingles or synthetic materials which replicate these. Sheet metal roofing, while appropriate for outbuildings, should not be used on houses unless it has a painted finish.

5.0 GUIDELINES FOR INSTALLATION OF VINYL AND ALUMINUM CLADDING

Vinyl and aluminum siding shall be permitted on new buildings and existing buildings in the heritage conservation district subject to the following conditions.

- .1 The siding shall be of the narrow overlap type resembling painted wooden clapboards, laid in horizontal courses, maximum $4\frac{1}{2}$ " to the weather;
- .2 The siding shall be of the flat finish variety rather than the imitation wood grain variety, as this more closely resembles painted wooden clapboards.
- .3 When installed as replacement cladding on an existing building, the vinyl or aluminum siding shall not obscure, cover or alter existing trim or other historic architectural features and shall not substantially reduce the thickness of trim projecting beyond the front face of the cladding. Generally, this will mean that existing clapboards or shingles will have to be removed prior to the installation of the new siding. Where possible, efforts should be made to retain wooden cladding on the principal facades of the building and to limit the use of vinyl or aluminum siding to those facades less exposed to public view.
- .5 When installed on new buildings, the vinyl or aluminum siding shall be fitted with wooden trim around windows, doors and corners, as illustrated below.



6.0 OUTBUILDINGS & ACCESSORY STRUCTURES

6.1 Additions and alterations to existing outbuildings

As noted in policy 5.8 of the conservation plan, old barns and other old outbuildings associated with heritage buildings, as identified on the Heritage Conservation District Map, comprise an important part of the heritage character of Grand Pré and should be conserved wherever possible.

Additions and alterations to outbuildings identified on the Heritage Conservation District Map require a Certificate of Appropriateness. Applications shall be considered in the light of section 4.0 of these guidelines while recognizing that outbuilding architecture is utilitarian rather than formal and that the guidelines will need to be applied with flexibility. Generally, outbuildings may be added to and altered in a manner consistent with their existing style and materials.

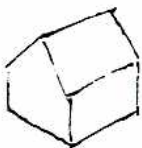
6.2 New outbuildings

Under the Land Use Bylaw, new outbuildings are limited to a maximum height of 20 ft. and a maximum ground floor area of 750 sq. ft., and a Development Permit is required for construction.

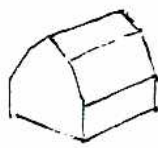
For the purposes of this conservation bylaw, outbuildings of less than 200 sq.ft. ground floor area are regarded as minor structures for which no Certificate of Appropriateness is required. New outbuildings over 200 sq.ft., however, require a Certificate of Appropriateness and are subject to the following guidelines:

6.2.1 Form and roof shape

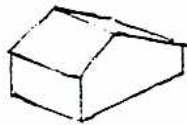
New outbuildings shall have a form and roof shape similar to or adapted from one of the traditional outbuilding forms found in the village, as illustrated below and in section 2.1.12 of the conservation plan:



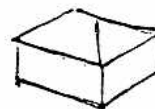
GABLE



GAMBREL



SALTBOX



HIP



GABLE WITH
SHED-ROOFED ELL.

6.2.2 Roof pitch

In accordance with the requirements of section 2.3, and on the precedent of existing outbuilding roof pitches, the minimum roof pitch on a new outbuilding shall be $\frac{8}{12}$.

6.2.3 Proportion

Based on the precedent of existing outbuilding proportions (see Appendix 2 of the conservation plan), the width to length ratio of new outbuildings shall not exceed 1:2.

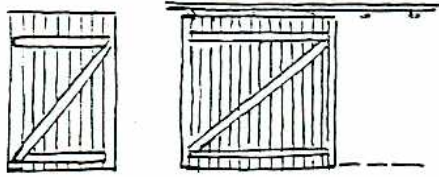
6.2.4 Location

New outbuildings shall not be located any closer to the street than the main building with which they are associated.

6.2.5 Windows

New outbuildings should preferably have vertically proportioned windows.

6.2.6 Doors



WOODEN BOARD DOORS.

Doors on new outbuildings need not necessarily be of formal design and may be of any utilitarian design suited to their function, including traditional, wooden board doors.

6.2.7 Cladding and trim

The requirements of section 2.13 shall apply to cladding and trim on new outbuildings, except that vertical wooden board cladding, and wooden board and batten cladding shall also be permitted.

6.2.8 Roofing

Roofing materials on new outbuildings may include asphalt shingles and wooden roof shingles (or synthetic materials which replicate these), as well as metal roofing, e.g., tin, aluminum, etc., on the model of the roofs found on some existing older outbuildings.

7.0 SIGNS

The Land Use Bylaw requires that any new facial sign, projecting sign, or ground sign may be no larger than 6 sq.ft. and must be located on the same lot as the product, service or structure to which the sign relates. Off-site business signs are permitted only in the form of "uniform business directional signs", which are strictly regulated in size and style. Portable signs, roof signs, and signs which incorporate any kind of illuminated flashing or moving parts are prohibited, along with various types of unsafe or obsolete signs. In addition to the requirements of the Land Use Bylaw, the following guidelines shall apply within the heritage conservation district:

7.1 General guidelines

- New signs should complement the architecture of the building or buildings with which they are visually associated in terms of scale, shape, placement, typography and colour. Generally, signs should not visually dominate a building.
- New signs shall not obscure significant architectural details.
- New signs should present concise information in a simple manner, using clear, crisp lettering and easily recognized symbols.
- New signs should be no larger than they need to be to convey their visual message. Generally, legibility depends more on colour and lettering style rather than it does on actual size.

7.2 Permitted materials

- New signs shall be constructed of wood or metal or synthetic materials which replicate these, and may have painted, incised, or raised lettering.

7.3 Illumination

- Internally lit, plastic signs are out of character with the heritage character of Grand Pré and shall not be permitted. New signs in the heritage conservation district may be externally illuminated, however, by the use of shielded, directed spotlights attached to the sign or fixed to the ground or building, as appropriate.

7.4 Signs prohibited (Some of these are also included in the Land Use Bylaw list of prohibited signs).

- Internally lit, plastic signs.
- Flashing signs.
- Portable, changeable copy signs.
- Advertising signs affixed to utility poles or to other highway or traffic control signs.
- Signs fixed to, supported by, or painted on the roof of any building.

7.5 Projecting Signs

- Projecting signs shall not project above the eaves, parapet or roof line of a building.
- Sign should be vertically aligned with vertical elements in the building facade, e.g., edges of windows, doors, edge of storefront, or mid-point of spaces between architectural features.
- Top or bottom of sign should be horizontally aligned with horizontal architectural features, e.g., the top of windows, or the lines of a transom or fascia board.

7.6 Facial signs signs

- Commercial facial signs should be placed in a way that clearly distinguishes the store entrance from other doors or facade elements.
- Facial signs should be placed over the door or the window or both, or should be centred between architectural elements, e.g. between windows, between a window and the door, or between a window and the building's edge.
- Commercial signs should not be fixed to the upper stories of a building unless a commercial use is located there.
- Facial signs shall not extend beyond the extremities of the wall.